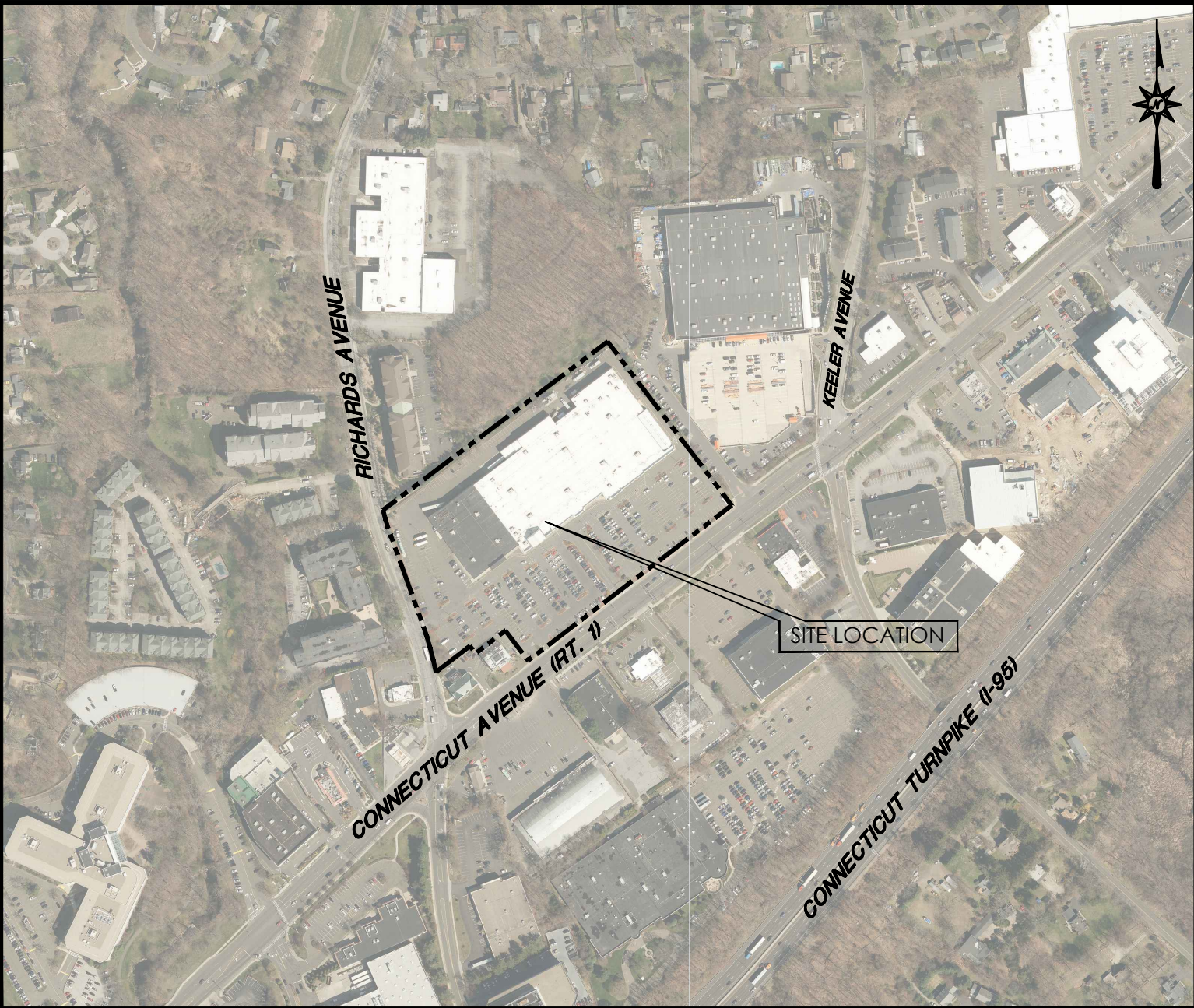


LOCATION MAP

N.T.S.

# PROPOSED SITE MODIFICATIONS

680 CONNECTICUT AVENUE  
NORWALK, CT 06854



VICINITY MAP

SCALE: 1"=400'

PREPARED FOR:  
EQUITY ONE (NORTHEAST PORTFOLIO), LLC  
C/O REGENCY CENTERS, LP  
28 CHURCH LANE, SUITE 200  
WESTPORT, CT 06880

PREPARED BY:



355 RESEARCH PARKWAY  
MERIDEN, CONNECTICUT 06450  
(203) 630-1406  
(203) 630-2615 Fax

## CONTENTS

	TITLE SHEET
AL-1,2	ALTA/NSPS LAND TITLE SURVEY
SP-1	SITE PLAN
TT-1	TRUCK TURNING PLAN
GD-1	GRADING AND DRAINAGE PLAN
DN-1	DETAILS SHEET
-	HOME GOODS ELEVATION PLAN
-	TARGET STORE DESIGN

FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

DEVELOPER:

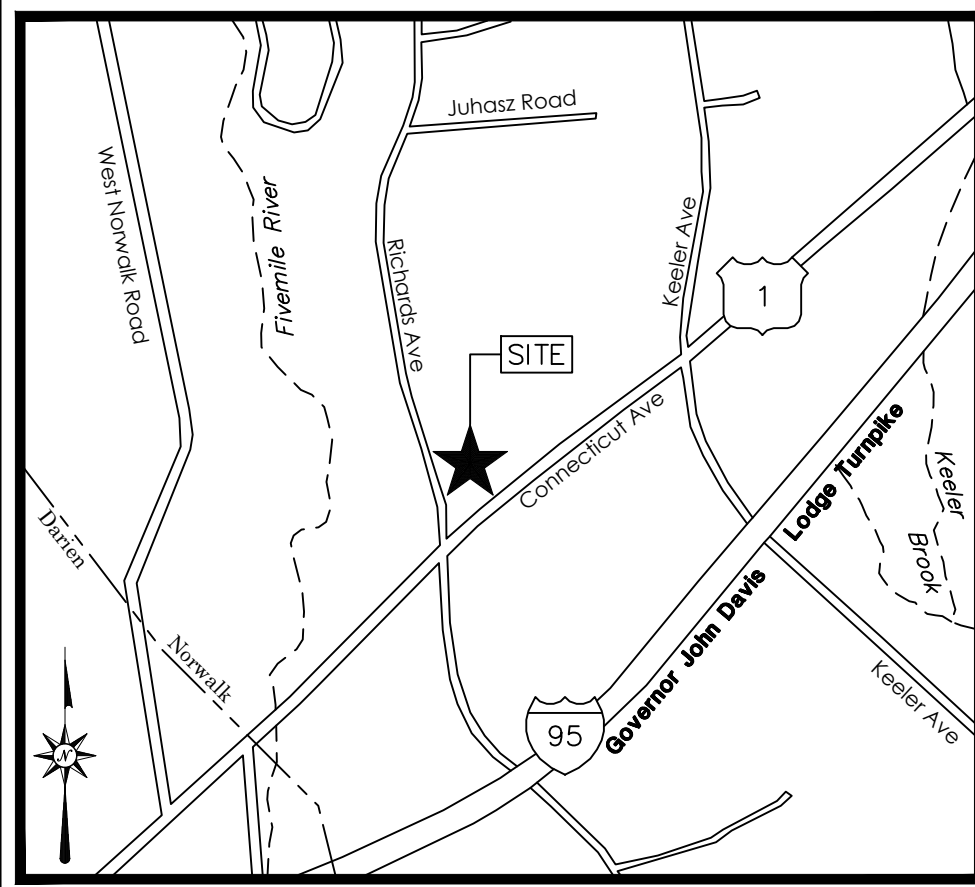
OWNER:

EQUITY ONE (NORTHEAST PORTFOLIO), LLC  
C/O REGENCY CENTERS, LP  
28 CHURCH LANE, SUITE 200  
WESTPORT, CT 06880

## DATES

ISSUE DATE: MARCH 24, 2023  
REVISION: APRIL 26, 2023

## SUBCONSULTANTS:



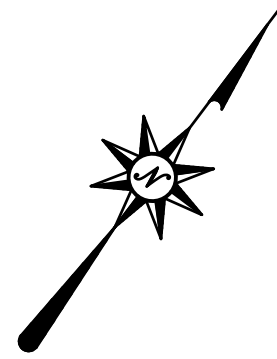
LOCATION MAP  
NOT TO SCALE

## BULK AREA REQUIREMENTS

LOCATION: 680 CONNECTICUT AVE (CT ROUTE 1) NORWALK, CONNECTICUT	
ZONE: B2 (BUSINESS NO. 2)	
ITEM	REQUIREMENTS
MINIMUM LOT AREA	12,500 SQ. FT. (0.29 ACRES)
MINIMUM LOT WIDTH	50 FEET
MINIMUM LOT FRONTAGE	NONE REQUIRED
MINIMUM FRONT SETBACK	45 FEET FROM STREET CENTERLINE
MINIMUM SIDE SETBACK	NONE EXCEPT WHERE RESIDENCE ZONE ABUTS: 10 FEET PER STORY OR 30 FEET, WHICHEVER IS GREATER
MINIMUM REAR SETBACK	10 FEET EXCEPT WHERE RESIDENCE ZONE ABUTS: 10 FEET PER STORY OR 30 FEET, WHICHEVER IS GREATER
MAXIMUM BUILDING HEIGHT	3 STORIES/35 FEET
MAXIMUM BUILDING COVERAGE	50 PERCENT

## PARKING TOTALS

REGULAR PARKING SPOTS	534
HANDICAP PARKING SPOTS	13
TOTAL PARKING SPOTS	547



## GENERAL NOTES

- A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
- B) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- C) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
- D) THE TYPE OF SURVEY PERFORMED IS A ALTA/NSPS LAND TITLE SURVEY AND IS INTENDED TO DERICT THE BOUNDARY AND EXISTING CONDITIONS WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS, VISIBLE UTILITIES, ROADWAYS AND CONTOURS.
2. NORTH ARROW AND BEARINGS REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83 - EPOCH 2011) AND ARE BASED ON GNSS OBSERVATIONS PERFORMED BY BL COMPANIES DURING FEBRUARY, 2023 UTILIZING THE SMARTNET NORTH AMERICA NETWORK.
3. ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88). THE DATUM WAS DETERMINED BY USING GEOD 18 AND IS BASED ON GNSS OBSERVATIONS PERFORMED BY BL COMPANIES IN FEBRUARY, 2023 UTILIZING THE SMARTNET NORTH AMERICA NETWORK.
4. PARCEL IS LOCATED IN A OTHER AREA "ZONE X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. MAP NO. 09001C0527F, PANEL 527 OF 626. EFFECTIVE DATE: JUNE 18, 2010.
5. THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER CONNECTICUT STATE LAW THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL BEFORE YOU DIG 1-800-922-4455.
6. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
7. NO INFORMATION WAS MADE AVAILABLE REGARDING PROPOSED CHANGES IN THE STREET RIGHT OF WAY LINES. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
8. A ZONING REPORT WAS NOT PROVIDED AT THE TIME OF THE SURVEY. BULK AREA REQUIREMENTS DATA SOURCE: CITY OF NORWALK ZONING REGULATIONS & MAPS WEBPAGE, "SCHEDULE LIMITING HEIGHT AND BULK OF BUILDINGS COMMERCIAL AND INDUSTRIAL CITY OF NORWALK PART 2", DATE: 4/21/00, REVISED 8/30/02, 11/24/06, 3/27/09, 2/28/14, 4/24/15 AND 4/27/18.

## MAP REFERENCE

- "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR: 680 CONNECTICUT AVE". SCALE 1"=40', DATE 12/28/2016, REVISED 4/6/2016, SHEET 1 OF 2 AND 2 OF 2, SURVEY PERFORMED BY FIRST ORDER, LLC, BETHLEHEM, PA AND PROVIDED BY THE CLIENT TO BL COMPANIES.
- "MAP SHOWING PARCELS D.E.F. & G. ON CONNECTICUT AVENUE PREPARED FOR IRVING J. FEDER & CO.". SCALE 1"=60', DATE 10/17/1962, REVISED 11/5/1962, PREPARED BY LEO LEONARD, JR., C.E. & L.S., NORWALK, CT AND FILED IN THE TOWN OF NORWALK CLERKS OFFICE AS MAP 6113.
- "MAP ESTABLISHING STREET LINES AND GRADES ON A PORTION OF RICHARDS AVE. FROM CONN. AVE. NORTHERLY TO FILLW ST.". SCALE 1"=40', DATE 7/1961, SHEET 1 OF 7, AND FILED IN THE TOWN OF NORWALK CLERKS OFFICE AS MAP 5944.
- "COMPILATION PLAN SHOWING EASEMENT TO BE ACQUIRED FROM CHRISTOPHER ROAD ASSOCIATES LLC BY THE CONNECTICUT LIGHT & POWER COMPANY". SCALE 1"=40', DATE 1/2007, FILE NO. 22458-170, PREPARED BY COLER & COLANTONIO, INC., NORWELL, MA AND FILED IN THE TOWN OF NORWALK CLERKS OFFICE AS MAP 12954.
- "MAP SHOWING SANITARY SEWER EASEMENTS TO BE ACQUIRED BY THE CITY OF NORWALK FOR THE CONNECTICUT AVE. SEWER AT NORWALK, CONN.". SCALE 1"=40', DATE 3/6/1975, SHEET 1 OF 3, PREPARED BY RYAN AND FAULDS - LAND SURVEYORS, WILTON, CT AND FILED IN THE TOWN OF NORWALK CLERKS OFFICE AS MAP 6166.
- "RIGHT OF WAY MAP TOWN OF NORWALK CONNECTICUT AVENUE FROM DARLEN TOWN LINE EASTERLY TO 500 FEET EAST OF SCRIBNER AVENUE". SCALE 1"=40', DATE 9/89 (SURVEYED), NUMBER 500A, SHEET NO. 1 OF 3 AND 2 OF 3, PREPARED BY STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION.

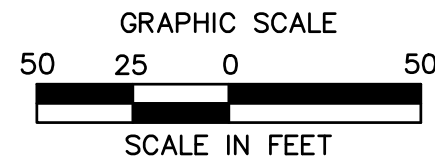
## SURVEY CERTIFICATION

TO:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-5, 6(a), 6(b), 8, 9, 11(a) AND 13-20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 9, 2023.

DATED: \_\_\_\_\_ SIGNED: PATRICK J. CORLESS, JR., L.S.# 70015

## SHEET NOTES

SEE SHEET NO. 2 OF 2 FOR TITLE COMMITMENT INFORMATION, UTILITY STRUCTURE CHART, RECORD LEGAL DESCRIPTION AND LEGEND.



UTILITY STRUCTURE CHART

(ALL CATCH BASINS ARE TYPE "C" UNLESS OTHERWISE NOTED.)				
Strm MH 1 TF=85.55 INV(N,SE)=81.2 INV(NW,SW)=81.6	Strm MH 15 TF=84.62 No Pipes Visible	CB 28 TF=76.48 INV(ALL)=72.0	CB 45 TF=84.39 INV(N)=78.6 INV(NE,E)=78.8 INV(SW)=78.4	San MH 59 TF=80.28 INV(FL)=73.0
San MH 2 TF=84.80 INV(FL)=74.8	Strm MH 16 TF=84.69 No Pipes Visible	CB 29 TF=76.77 INV(ALL)=73.2	CB 46 TF=82.78 INV(S)=72.9	CB 60 TF=80.06 INV(NW)=71.6 INV(E)=71.8 TF=88.46
CB 3 TF=84.65 INV=81.9	CB 17 TF=80.51 INV(NP)=74.7 INV(E)=74.8 INV(W)=74.5	CB 30 TF=80.9 INV(ALL)=76.0	CB 47 TF=83.73 INV(ALL)=79.2	San MH 61 TF=88.46 INV(FL)=81.3
San MH 4 TF=85.78 No Pipes Visible Filled With Dirt	Strm MH 18 TF=81.29 INV(W)=74.3 INV(Weir)=78.4	San MH 32 TF=87.32 INV(FL)=82.3	San MH 48 TF=86.89 No Pipes Visible	CB 63 TF=80.96 INV(N)=78.8 INV(NE)=78.6
San MH 5 TF=86.61 No Pipes Visible Filled With Water	Strm MH 19 TF=81.35 No Pipes Visible	San MH 33 TF=88.08 INV(FL)=83.0	San MH 49 TF=81.79 INV(FL)=70.4	CB 65 TF=77.85 INV=74.0
San MH 6 TF=88.25 No Pipes Visible Filled With Dirt	Strm MH 20 TF=81.41 No Pipes Visible	UNK-MH 34 TF=86.92	San MH 51 TF=82.23 No Pipes Visible Filled With Dirt	CB 66 TF=74.57 INV(ALL)=71.2
San MH 7 TF=88.47 No Pipes Visible Filled With Dirt	Strm MH 21 TF=82.02 INV(E)=74.6 INV(S,SW)=74.7	UNK-MH 35 TF=87.33	UNK-MH 36 TF=87.55	CB 67 TF=74.23 INV(NE)=71.0 INV(SE)=70.8
CB 8 TF=87.31 INV=83.8	CB 22 TF=78.14 INV=75.2	UNK-MH 37 TF=87.89	CB 52 TF=82.24 INV=79.5	CB 68 TF=73.69 INV=70.1
CB 9 TF=87.02 INV(ALL)=82.9	CB 23 TF=78.14 INV=75.2	San MH 38 TF=82.99 INV(FL)=69.3	CB 53 TF=82.72 INV(E)=79.0 INV(SW)=78.7	San MH 69 TF=74.34 INV(FL)=67.7 INV(SE)=68.0
CB 10 TF=83.61 INV(NE)=80.7 INV(E)=80.8 INV(SW)=80.6	CB 24 TF=78.27 INV=75.1	San MH 54 TF=83.57	San MH 70 TF=82.04 INV(FL)=75.3	CB 71 TF=81.17 INV=77.7
CB 11 TF=83.98 INV(NE)=80.1 INV(SW)=80.0	Strm MH 26A TF=83.39 INV(NE)=75.1 INV(SW)=75.0	CB 41 TF=84.24 INV=80.2	CB 56 TF=83.54 INV=79.2	Strm MH 72 TF=80.98 INV(ALL)=76.7
Strm MH 12 TF=86.73 INV(ALL)=78.7	Strm MH 26B TF=83.87 INV(NE)=75.3 INV(NW)=75.2 INV(SW)=75.8	San MH 42 TF=88.24 No Pipes Visible	CB 57 TF=89.68 INV(N)=85.3 INV(SE)=85.0	
Strm MH 13 TF=84.36 INV(NW)=77.0 INV(SE,S)=76.6	CB 27 TF=80.94 INV(NE)=74.8 INV(SW)=74.9 INV(W)=74.7	Strm MH 43 TF=87.53 INV(ALL)=79.9	CB 58 TF=79.92 INV(NW)=75.1 INV(E)=73.9 INV(W)=73.8	
Strm MH 14 TF=84.67 INV(SE)=77.5 INV(Weir)=81.6		Strm MH 44 TF=84.52 INV(NW)=78.5 INV(SW,NE)=78.0		

RECORD LEGAL DESCRIPTION

ALL THAT CERTAIN PIECE OR PARCEL OF LAND, SITUATED IN THE CITY OF NORWALK, COUNTY OF FAIRFIELD AND STATE OF CONNECTICUT, BEING SHOWN AND DESIGNATED AS "PARCEL E, 10.04±AC." ON A CERTAIN MAP ENTITLED "MAP SHOWING PARCELS D, E, F & G ON CONNECTICUT AVENUE PREPARED FOR IRVING J. FEDERA & CO., NORWALK, CONN." WHICH MAP IS BY LEO LEONARD, JR., C.E. & L.S., DATED OCTOBER 17, 1962 AS REVISED TO NOV. 5, 1962 AND IS ON FILE AS MAP NO. 6113 IN THE NORWALK TOWN CLERK'S OFFICE.

AND BEING THE SAME PROPERTY CONVEYED TO EQUITY ONE (NORWALK) LLC, A DELAWARE LIMITED LIABILITY COMPANY FROM CHRISTOPHER ROAD ASSOCIATES LLC, A DELAWARE LIMITED LIABILITY COMPANY BY LIMITED WARRANTY DEED DATED JUNE 30, 2016 AND RECORDED JULY 1, 2016 IN DEED BOOK 8368, PAGE 210.

TAX PARCEL NO. 5-69-56-0

TITLE COMMITMENT INFORMATION:

TITLE COMMITMENT REFERENCE NUMBER	RECORDING REFERENCE	DESCRIPTION	STATUS ON PLAT
②	INSTRUMENT NO. 5994	MATTERS AS SHOWN AND NOTED ON PLAT RECORDED IN INSTRUMENT NO. 5994.	DOES NOT AFFECT PARCEL
③	MULTIPLE	MULTIPLE - SEE INDIVIDUAL NOTES ON SHEET 1 OF 2.	SEE INDIVIDUAL NOTES ON SHEET 1 OF 2.
④	INSTRUMENT NO. 6113	MATTERS AS SHOWN AND NOTED ON PLAT RECORDED IN INSTRUMENT NO. 6113.	PLOTTED
⑤	BK 592 PG 500	COVENANTS, CONDITIONS AND RESTRICTIONS.	PLOTTED
⑥	BK 604 PG 267 BK 2351 PG 225	EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY, ASSIGNMENT OF GAS EASEMENTS AND PARTIAL ASSIGNMENT OF COMBINED EASEMENTS (GAS RIGHTS ONLY) FROM CONNECTICUT LIGHT AND POWER COMPANY TO YANKEE GAS SERVICE COMPANY	?
⑦	BK 609 PG 573	COVENANTS, CONDITIONS AND RESTRICTIONS.	?
⑧	BK 619 PG 583	DECLARATION AND GRANT BY NORFIELD REALTY CORP.	?
⑨	INSTRUMENT NO. 8166	MATTERS AS SHOWN AND NOTED ON PLAT RECORDED IN INSTRUMENT NO. 8166.	?
⑩	BK 1033 PG 230 BK1037 PG 259	EASEMENTS CONTAINED IN STATEMENT OF COMPENSATION; CERTIFICATE OF TAKING.	?
⑪	BK 1429 PG 115	ZONING BOARD OF APPEALS CERTIFICATE OF VARIANCE NO. 82-0603-09.	?
⑫	BK 2714 PG 273	CERTIFICATE OF VARIANCE NO. 92-1001-06.	?
⑬	BK 4616 PG 257	COVENANTS, CONDITIONS AND RESTRICTIONS.	?
⑭	BK 4636 PG 252	CERTIFICATE OF VARIANCE NO. 02-1003-06.	
⑮	BK 4683 PG 219	ELECTRIC DISTRIBUTION EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY.	
⑯	BK 4683 PG 222	CERTIFICATION OF ZONING APPROVAL.	
⑰	BK 4683 PG 225	CERTIFICATE OF VARIANCE NO. 02-1107-04.	
⑱	BK 5811 PG 289	COVENANTS, CONDITIONS AND RESTRICTIONS.	
⑲	BK 6490 PG 195	EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY.	
⑳	BK 7697 PG 333	CERTIFICATE OF VARIANCE NO. 12-0906-02.	
㉑	BK 7758 PG 217	PERFORMANCE BOND.	
㉒	BK 7855 PG 46	PERFORMANCE BOND.	
㉓	BK 9399 PG 215	TERMS AND CONDITIONS OF MEMORANDUM OF LEASE.	

LEGEND

	Property Line
	Easement Line
	Setback Line
	Treeline
	Brushline
	Major Contour
	Minor Contour
	Fence
	Overhead Wires
	Underground Electric Line
	Gas Line
	Sanitary Sewer
	Sanitary Force Main
	Storm Sewer
	Underground Cable Television Line
	Underground Telecommunications Line
	Fiber Optic Telecommunications Line
	Underground Traffic Signal Cable
	Water Line
	Fire-Protection Line
	Underground Utility - Type Unknown
	Handhole
	Electric Meter
	Utility Pole
	Utility Pole w/ Light
	Guy Wire
	Light Pole
	Gas Valve
	Gas Meter
	Catch Basin
	Catch Basin Plotted per Record Mapping
	Double Type I Catch Basin
	Manhole
	Manhole Plotted per Record Mapping
	Roof Drain
	Span Pole
	Cantilever Pole
	Pedestal-mounted Traffic Signal
	Pedestrian Signal
	Fire Hydrant
	Water Valve
	Water Meter
	Valve- Utility Type Unknown
	Sign
	Ballard
	Handicap Symbol
	Mail Box
	Monitoring Well
	Shrub
	Deciduous Tree
	Coniferous Tree

SHEET NOTES

SEE SHEET NO. 1 OF 2 FOR SURVEY CERTIFICATE, GENERAL NOTES, MAP REFERENCES, LOCATION MAP, BULK AREA REQUIREMENTS AND PARKING TOTALS.

REFERENCE: FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 38401161, COMMITMENT DATE: MARCH 2, 2023.

Architecture  
Engineering  
Environmental  
Land Surveying



355 Research Parkway  
Meriden, CT 06450  
(203) 430-1406  
(203) 630-2615 Fax



LAND OF  
**EQUITY ONE (NORWALK) LLC**  
680 CONNECTICUT AVENUE  
NORWALK, CONNECTICUT

Desc.

REV/SIONS  
No. Date

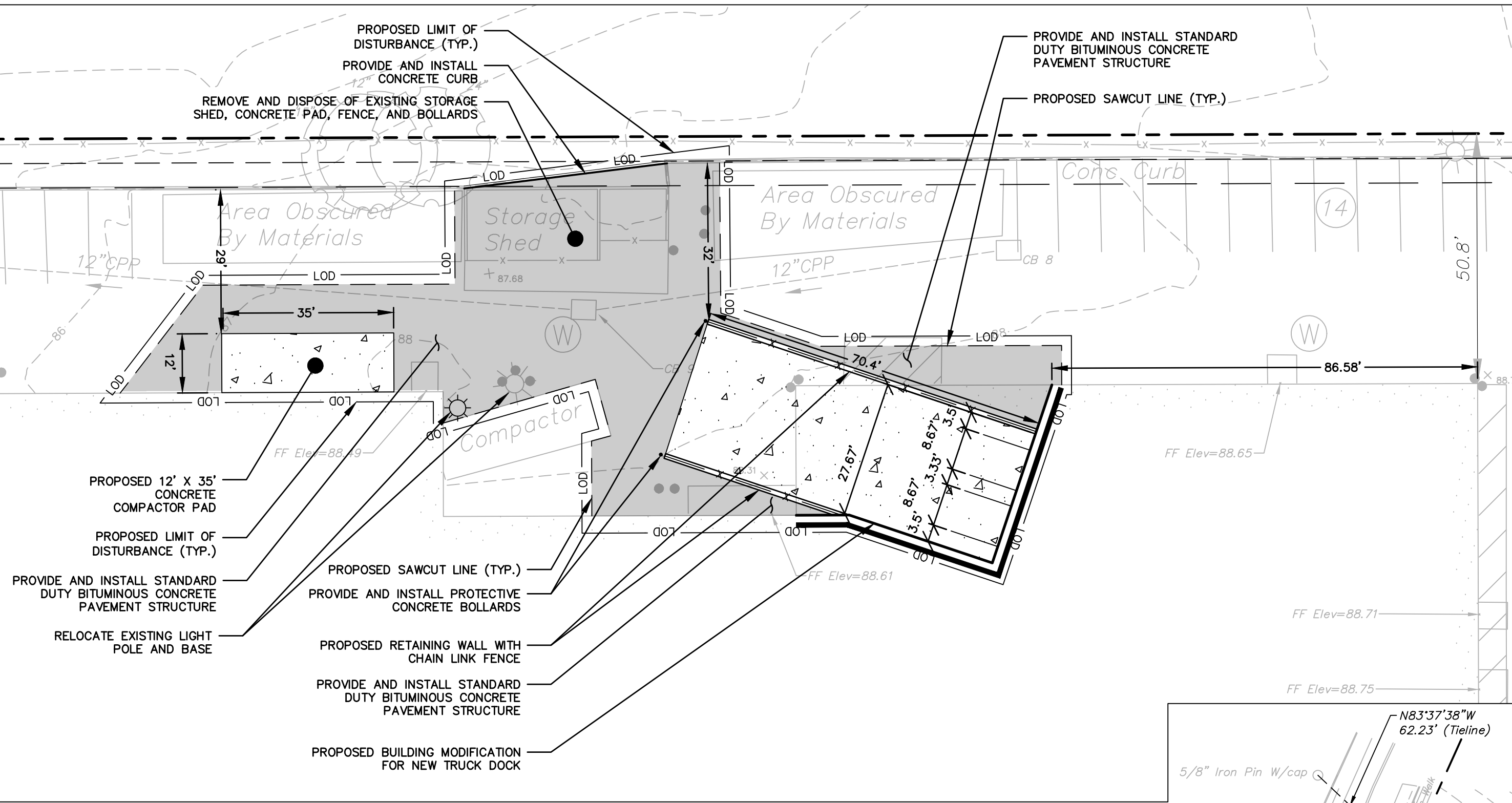
Surveyed NS/DS/DB  
Drawn JW  
Reviewed PJC  
Scale 1"=50'  
Project No. 2202589  
Date 2/14/2022  
Field Book 575  
CAD File: AL220258901

Title

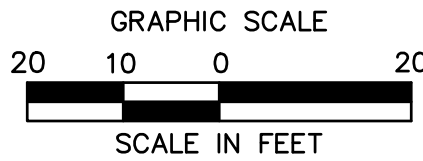
ALTA/NSPS  
LAND TITLE  
SURVEY

Sheet No. 2 of 2

AL-1



INSET



SITE PLAN LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE LINE AND CONTRACT LIMIT LINE
- PROPOSED SAWCUT LINE
- PROVIDE AND INSTALL CONCRETE SIDEWALK
- STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- 4" SOLID WHITE LINE DIAGONAL 2' SPACING @ 45° STRIPING

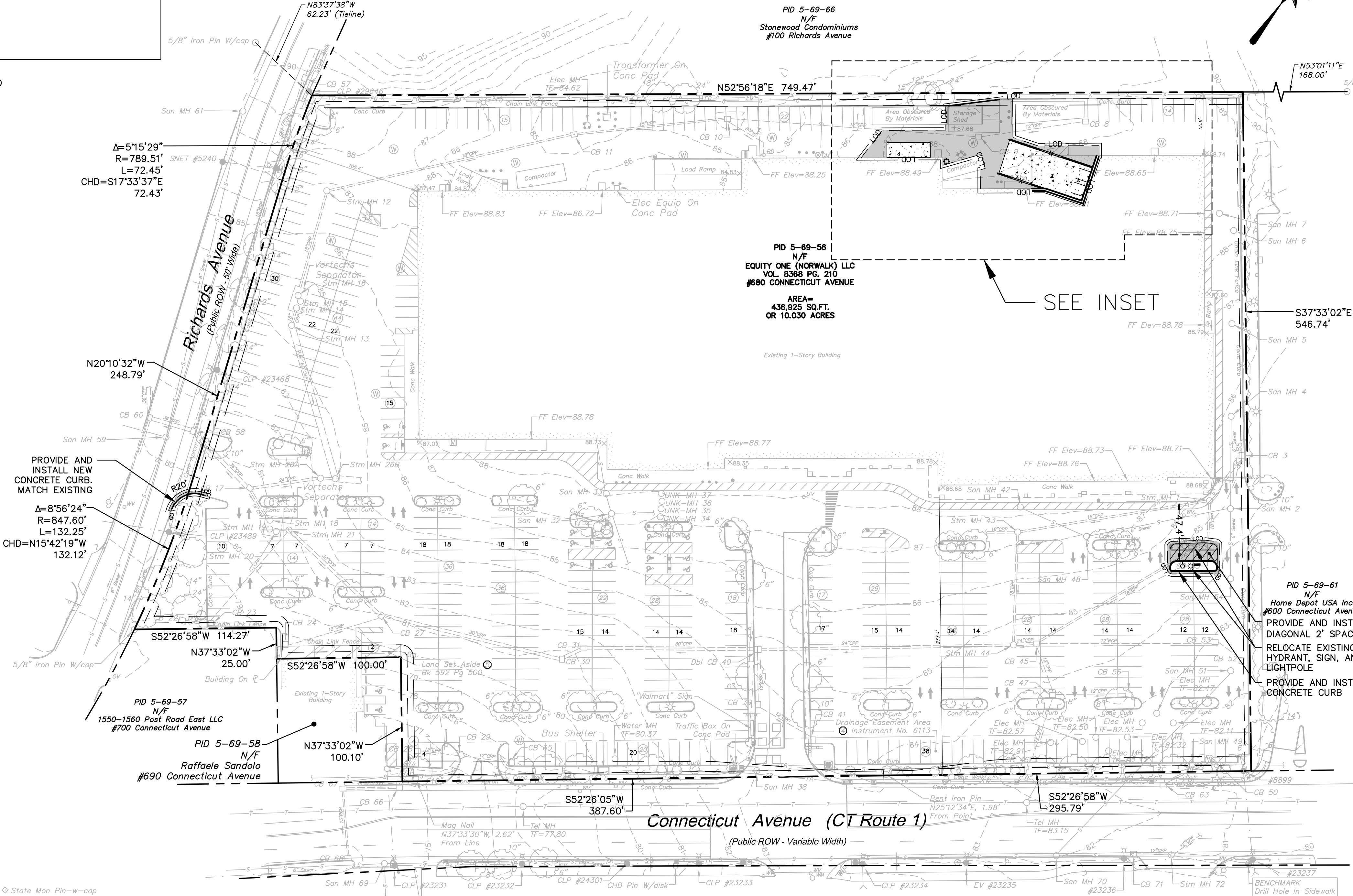
ZONING INFORMATION

LOCATION: NORWALK, CONNECTICUT				
ZONE: B2 (BUSINESS NO. 2)				
USE: RETAIL (PERMITTED USE)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	12,500 S.F. (0.29 A.C.)	436,925 S.F. (10.03 AC.)	NO
2	MINIMUM LOT WIDTH	50 FEET	453.5 FEET	NO
3	MINIMUM LOT FRONTAGE	NONE REQUIRED	1,136.9 FEET	NO
4	MINIMUM FRONT SETBACK	45 FEET FROM STREET CENTERLINE	233.4 FEET	NO
5	MINIMUM SIDE SETBACK	NONE EXCEPT WHERE RESIDENCE ZONE ABUTS: 10 FEET PER STORY OR 30 FEET, WHICHEVER IS GREATER	26.7 FEET	NO
6	MINIMUM REAR SETBACK	10 FEET EXCEPT WHERE RESIDENCE ZONE ABUTS: 10 FEET PER STORY OR 30 FEET, WHICHEVER IS GREATER	50.8 FEET	NO
7	MAXIMUM BUILDING HEIGHT	MAX: 3 STORIES/35 FEET MIN: 2 STORIES/25 FEET	1 STORY	NO
8	MAXIMUM BUILDING COVERAGE	50 PERCENT	±34.0 PERCENT	NO

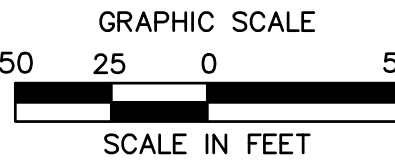
PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	148,428.5 S.F.	NO
2	PARKING REQUIRED	RETAIL STORE: 1 SPACE PER EVERY 350 S.F. OF ACTIVE COMMERCIAL FLOOR AREA (111,566 S.F. / 350 = SPACES)  TOTAL REQUIRED SPACES = 319 SPACES (1)	492 SPACES	NO
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	11 SPACES	13 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	8.5 FEET X 19 FEET	9 FEET X 19 FEET	NO
5	MINIMUM AISLE WIDTH	24 FEET - 2-WAY	24 FEET - 2-WAY	NO
6	MINIMUM FRONT SETBACK	5 FEET	5 FEET	NO
7	MINIMUM SIDE SETBACK	5 FEET	5 FEET	NO
8	MINIMUM REAR SETBACK	5 FEET	5 FEET	NO
9	# OF LOADING SPACES	FLOOR AREA OVER 80,000 S.F.: 2 SPACES PLUS 1 SPACE FOR EACH ADDITIONAL 100,000 S.F. OF FLOOR AREA (2 SPACES REQUIRED)	3 SPACES	NO
10	LOADING SPACE DIMENSIONS	10 FEET X 25 FEET	12 FEET X 70 FEET	NO

(1) ACTIVE COMMERCIAL FLOOR SPACE INCLUDES: HOMEGOODS - 23,826 SF, TARGET - 86,610 SF, STARBUCKS (INSIDE TARGET) - 1,130 SF, TOTAL = 111,566 SF



FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION



355 Research Parkway  
Meriden, CT 06450  
(203) 630-1406



PROPOSED SITE MODIFICATIONS  
680 CONNECTICUT AVENUE  
NORWALK, CONNECTICUT 06854

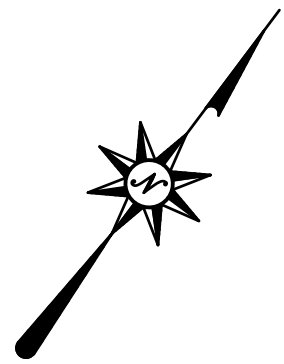
REVISIONS		Desc.
No.	Date	REVISED/LOADING DOCK LAYOUT
1.	04/26/2023	

Designed J.J.S.  
Drawn M.A.G.  
Reviewed  
Scale 1"=10'  
Project No. 2202589  
Date 03/24/2023  
CAD File: SP220258901

Site  
SITE PLAN

Sheet No.

SP-1



**PROPOSED SITE MODIFICATIONS**  
680 CONNECTICUT AVENUE  
NORWALK, CONNECTICUT 06854

REVISIONS  
No. 1.

Desc.

REVISED LOADING DOCK LAYOUT

Date

04/26/2023

Drawn

J.J.S.

Reviewed

M.A.G.

Scale

1"=50'

Project No.

2202589

Date

03/24/2023

CAD File:

T220258901

Title

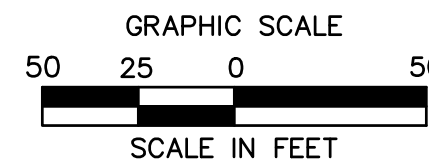
TRUCK  
TURNING  
PLAN

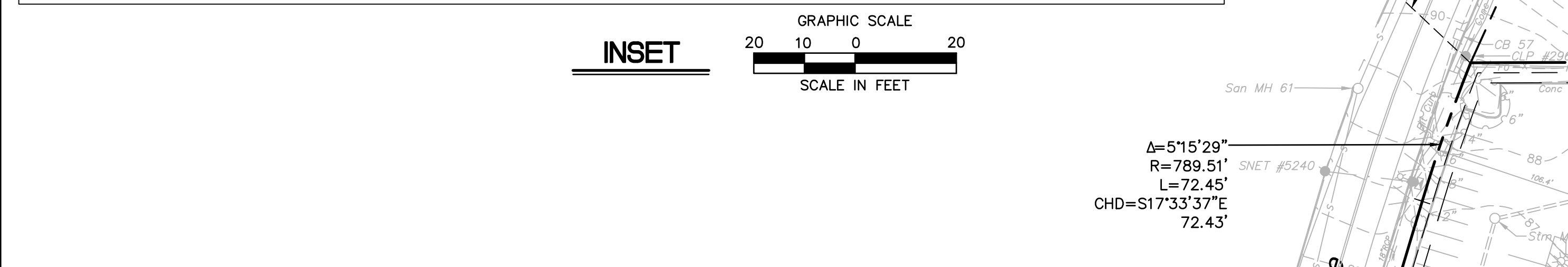
Sheet No.

**TT-1**



FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION





PROPERTY LINE  
LIMIT OF DISTURBANCE LINE  
AND CONTRACT LIMIT LINE

STORM LINE

PROPOSED CONTOUR LINE

CATCH BASIN

PROPOSED SPOT GRADE

X 100.00

ABBREVIATIONS

- TC=TOP OF CURB
- BC=BOTTOM OF CURB
- TW=TOP OF WALL
- BW=BOTTOM OF WALL

PROPOSED SURFACE SLOPE

2%


TC=100.00  
BC=99.50

TW=108.00  
BW=100.04

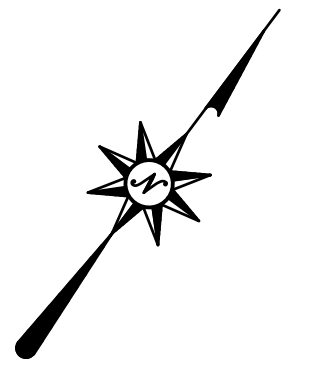


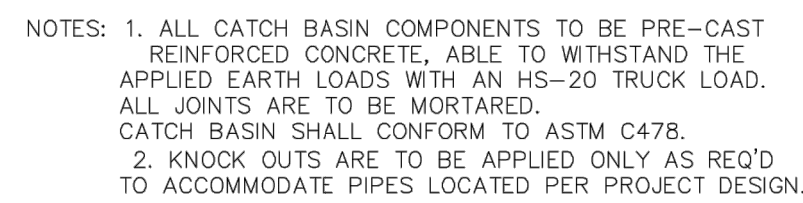
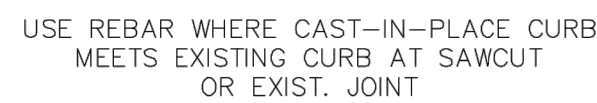
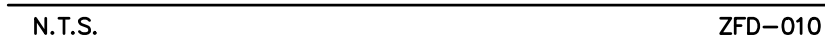
GRAPHIC SCALE

50 25 0 50



SCALE IN FEET





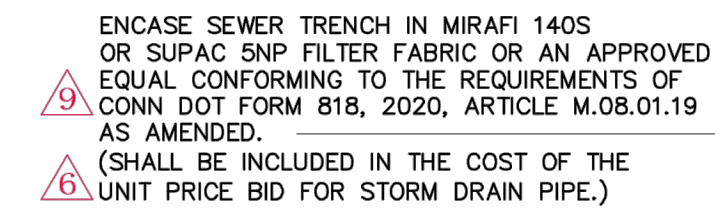
N.T.S.



	A	B	C	D
	CL 2	CL 1	CL 4	P.A.B.
MAJOR ARTERIAL	—	4"	6"	14"
MINOR ARTERIAL	—	6.5"	—	12"
COLLECTOR	—	6"	—	12"
LOCAL	3"	—	—	12"

MAXIMUM ALLOWABLE UNCOMPACTED THICKNESS  
PER LIFT:

CLASS 2	-	2" THK.
CLASS 1	-	2 1/2" THK.
CLASS 4	-	4" THK.



N.T.S.

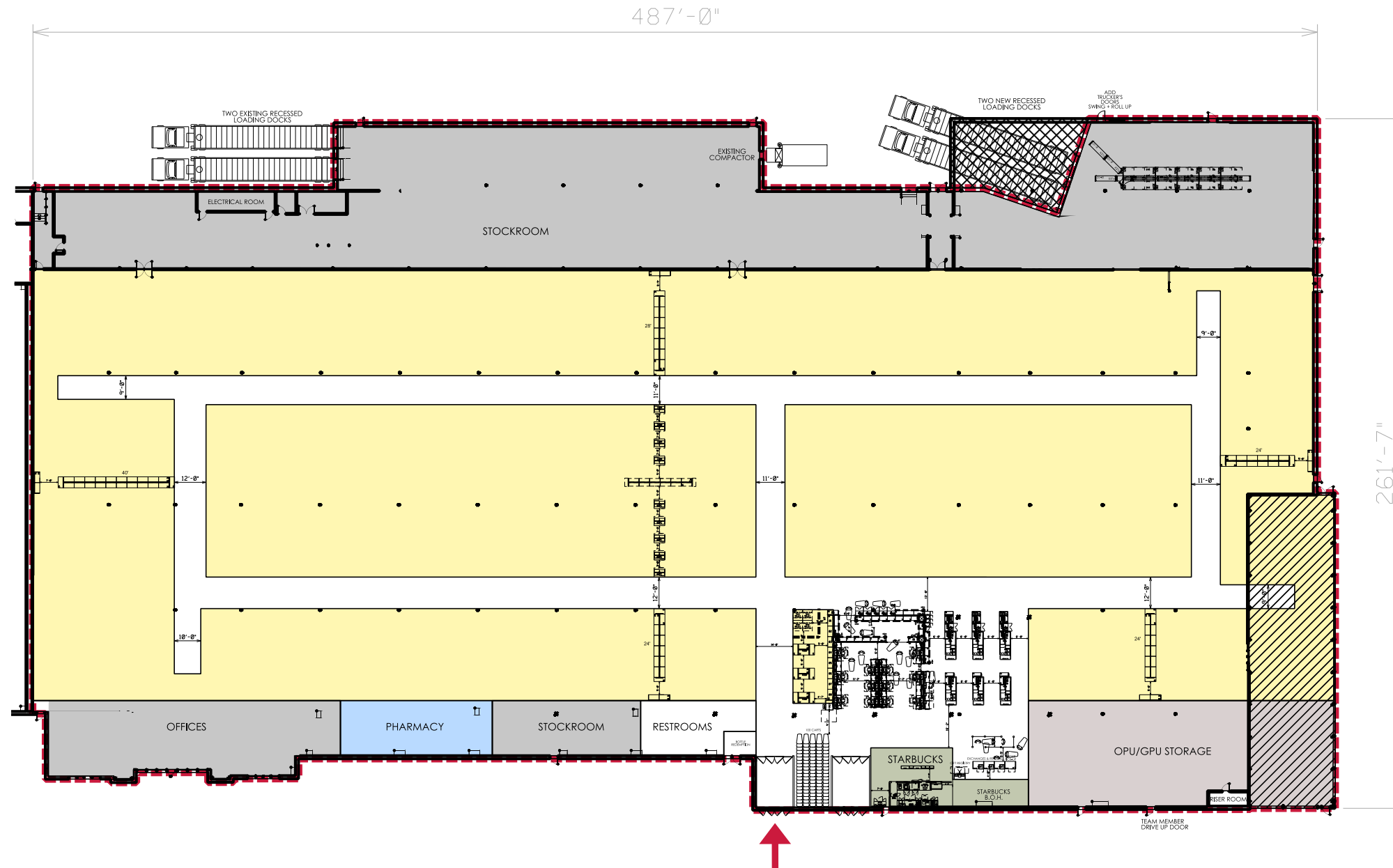
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PROPOSED FRONT ELEVATION

5/2/21

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LEVEL 01

SCALE: 1/50" = 1'-0"

NOT FOR CONSTRUCTION

NORWALK, CT | FEASIBILITY PLAN

#### SQUARE FOOTAGE

TOTAL TARGET: 117,306 SF    EXISTING BUILDING: 114,823 SF  
TOTAL SALES: 86,610 SF    BUILDING DEMOLITION: 1,402 SF  
NET SALES: 65,000 SF    BUILDING EXPANSION: 3,885 SF

STOCKROOM: 19,200 SF

SHIP FROM STORE: 528 SF WITH 2 PACK STATIONS  
OPU/GPU STORAGE: 3,000 SF

OFFICES: 2,915 SF  
RESTROOMS: 915 SF

PHARMACY: 1,050 SF + 150 SF LOUNGE  
OPTICAL: 0 SF  
STARBUCKS: 1,130 SF  
SNACK BAR: 0 SF

TOTAL TARGET SF MEASURED FROM PLAN

#### PARTNER BUSINESSES

INCLUDES: PHARMACY, STARBUCKS  
DOES NOT INCLUDE: OPTICAL, SNACK BAR

#### CAPACITY

SALES FLOOR  
LINEAL FOOTAGE ESTIMATE: 11,700 LF  
ESTIMATE BASED ON 18% OF NET SALES

STOCKROOM  
14' STACK HEIGHT  
45% HD/55% LD  
MOBILE LIGHT DUTY: MAX MOBILE  
4 RECESSED DOCK DOORS

OPU/GPU STORAGE  
14' STACK HEIGHT  
LARGE WALK-INS

#### CONSIDERATIONS

- CONFIRM PROPOSED ENTRY LOCATION(S)
- CONFIRM HEIGHTS TO UNDERSIDE OF STRUCTURE AND BOTTOM OF BEAM
- CONFIRM COLUMN AND STRUCTURAL WALL LOCATIONS
- CONFIRM BUILDING CONDITIONS AND GLAZING
- CONFIRM EXISTING ELECTRICAL AND MECHANICAL SPACES
- CONFIRM LOADING/RECEIVING AREA

 BUILDING EXPANSION  
 BUILDING DEMOLITION  
 GLAZING  
 TOTAL TARGET

Target Store Design  
12/06/2022

